

WESTWOOD HEATH

Prime land for residential development

Approximately 8.8 Acres (3.57 Hectares)

Plot 5

Tender closing date
12 Noon 19th November 2004



FOR FURTHER INFORMATION CONTACT

Jo Mascarenhas /Andy Jack
Telephone: 024 7683 2748
Facsimile: 024 7683 2780
E mail: jo.mascarenhas@coventry.gov.uk



Coventry City Council

City Development Directorate
Portfolio Property Management
Civic Centre 4
Much Park Street
Coventry CV1 2PY

Description

Plot 5 is the third phase of disposal by Coventry City Council of the final 30 acres of high quality residential development land off Westwood Heath Road.

Plot 1 and Plot 2 (7.9 acres) were sold in March 2002 to Westbury Homes and Plots 3 & 4 (6.95 acres) were sold to David Wilson Homes in March 2004.

The plots are characterised by their excellent location 4.5 miles south west of the city in a semi-rural position offering developers a superb opportunity to construct properties of the highest quality.

A Site Plan is enclosed. Appendix 2

Planning

A Development Brief has been produced for the whole site. The Brief, which has the effect of Supplementary Guidance to Coventry's Development Plan, is reproduced in full in Appendix 4, together with extracts of those elements of the Supplementary Guidance, which are specifically relevant to Plot 5.

PLOT 5

Area 'A'

Comprising 5.2 acres (2.11 hectares)
Maximum capacity is 38 units

Area 'B'

Comprising 3.6 acres (1.46 hectares)
Maximum capacity 19 units

Access to Plot 5 will be via Roughknowles Road and the new spine road (road 1)

Boundaries

The boundary of the plot, as per the site plan in Appendix 2, will be marked out on site prior to disposal.

Services

Details of existing services are available on request.

BPA Fuel Pipeline

A BPA fuel pipeline crosses Plot 5 in the approximate position shown on the plan supplied by BPA in Appendix 3. All potential purchasers should contact the BPA for digital data on the exact pipeline route, Guidance Notes for safe working in close proximity to pipeline systems and clarification with regard to the easement **prior** to tender submission.

BPA

5-7 Alexandra Road, Hemel Hempstead, Herts. HP2 5BS

Tel: 01442 242200 Contact: Lynn Harris or Guy Hemsley

Fax: 01442 214077 Web: www.bpa.co.uk

e-mail: business@bpa.co.uk

Contacts

In view of the post tender timescales, prospective purchasers are recommended to discuss their proposed site layouts and design details with Kevin Wilkins - Urban Design (who, where necessary, will consult with Planning Control) **prior** to tender submissions.

General Notes

ROADS AND FOOTPATHS

Access to Plot 5 will be from Roughknowles Road. Full access along the spine road (roads 1, 2, 3 and 4) will be achieved with the development of Plot 5.

Rights of access will be reserved for existing and future purchasers of plots and subsequent occupiers within the overall site.

Purchasers should be aware that adoption of highway works can not take place until the full width of the highway (i.e. two footways and carriageway) is complete and 12 months maintenance expired. Purchasers should be particularly aware of the potential time scales where two or more developers front a section of highway. Purchasers will be responsible for maintenance of the highway within their ownership until adoption.

The purchaser will be required to enter into a S38 agreement for the final completion, to adoptable standards, of that part of the spine road that lies within the land purchased. This will include the requirement to undertake the wearing course and any remedial works to the existing carriageway and amendments to and remedial works, as necessary, to the lighting scheme provided by the purchaser of Plots 3 and 4 on the southern footway of roads 2 and 3. Where the purchaser of Plots 3 and 4 has not yet provided lighting on the south side of roads 2 and 3 adjacent to Plot 5 the purchaser shall provide a road lighting scheme on the south side, which shall be compatible with the scheme provided by the purchaser of Plots 3 and 4.

This work, within a S38 agreement will be on the basis that the purchaser will accept the condition of the existing highway facilities as seen immediately prior to purchase.

For the avoidance of doubt the land purchased will include the footway on the south side of road 3 and the southern footway and the carriageway of road 2 (south of Plot 4).

Beyond the junction of road 1 and road 2 the purchaser will be responsible for the full width of the highway extending to Roughknowles Road.

The purchaser will not start construction on additional access within the plot until the spine road is brought up to a standard to enable safe access to be achieved from Roughknowles Road.

There will be a requirement for site lines along roads 1 and 2.

The purchaser is also recommended that before any dwelling having a frontage onto the spine road is occupied, they must ensure that both a safe carriageway and footway access is provided to at least basecourse level and lit to the satisfaction of the Council's Highways Engineer.

The bellmouth off Westwood Heath Road has been constructed up to base course level as far as the Westwood Heath Road highway boundary. As part of the S38 agreement for the access road the developer will be required to

make good to the existing part of the bellmouth (wearing course and footway) and allow for laying the wearing course from the proposed development beyond the highway boundary to connect to the present construction at the Westwood Heath Road channel.

The purchaser will be required to construct a footway along Roughknowles Road from Westwood Heath Road for the extent of the development frontage to the existing Whitefield Close footway, beyond the boundary of Plot 5.

The City Council will reserve rights for itself and its successors in title to pass and repass with or without vehicles over and along any new roads and footpaths to be constructed on the land and to have the right to use and to make connections to and disconnections from the sewers, drains and channels and all other service media, now constructed, or to be constructed on, through or under the land for all purposes connected with the development, use and enjoyment of the Council's retained land.

DRAINAGE

Both foul and surface water sewers constructed under the spine road within Plot 5 are under a S104 Agreement with STW.

Stub pipes are provided from Plot 2. These sewers will require easement protection of 6m as they fall outside of the highway boundary.

Developers will be required to attenuate their surface water on site and discharge will have to be limited to 20 litres per second.

Developers will need to provide additional storage on Westwood Heath Road. Storage will need to include the upsizing of the existing 375mm sewer to 900mm. Developers should contact Manoj Mistry at Jacobs Babbie to discuss the drainage of Plot 5 and in particular attenuation requirements **prior** to tender submission.

SERVICES

Electricity, gas and water mains are available within the spine road, Westwood Heath Road and Roughknowles Road as indicated on the service drawings, which are available on request from Manoj Mistry at Jacobs Babbie.

The purchaser will be required to lay mains and services as necessary to service the plot from these existing mains.

The purchaser will be required to lay BT ducting in the western footway of road 1 to extend the existing ducting from the south west corner of plot 4 up to the existing BT duct in Roughknowles Road as required by BT.

Ducts to the southern side of road 2 and 3 and the eastern side of road 1 to be as necessary for plot development only.

General Information

TENURE

The land will be sold freehold with vacant possession.

COSTS

The purchasers will be responsible for a contribution towards the vendor's surveyor's fees at 0.75% of the purchase price together with the City Council's legal costs and other costs associated with the sale of the site. VAT will be payable on legal, surveyors and other costs associated with the sale of the site.

Stamp duty will be payable by the purchaser.

VAT

VAT will be levied at 17.5% on the purchase price and the Council's legal and surveyor's costs.

S106 AGREEMENT

When substantially complete, the development of the whole 30 acre site will generate a requirement for the provision of a new play area in the vicinity. The purchaser will therefore be required to enter into a Section 106 Agreement to contribute £500 per dwelling towards the cost of its provision.

TITLE

The Title to the City Council's land is available for inspection at any reasonable time by prior appointment with Legal & Democratic Services, Commercial Group, Council House, Earl Street, Coventry. Tel: (024 7683 3333).

The land is sold subject to any encumbrances, rights, exceptions and reservations, covenants and any other matters affecting the land. Full title guarantees will be given. No warranties as to the condition or suitability of the site are given.

VIEWING

At any reasonable time.

GROUND CONDITIONS

A copy of the vendor's Level's Plan (prepared prior to the construction of the spine road and the Westwood Heath Road improvements) is available on request.

The Vendor's Ground Investigation Surveys are available on request.

Prospective purchasers must, however, make their own investigations and satisfy themselves on ground conditions. Access will not be permitted to carry out trial holes without the prior written consent of the Council. Prospective purchasers are required to share the survey results and information with other parties in order to avoid a large number of excavations.

SERVICES

Further information can be obtained from the Statutory Undertakers listed below.

GAS

British Gas Transco
Land and Development
Norgas House
Northumberland Way
Killingworth
Newcastle-upon-Tyne NE99 1GB
Tel: 0191 216 3107

ELECTRICITY

Peter Carrington
East Midlands Electricity
Herald Way, Pegasus Business Park
East Midlands Airport,
Castle Donington
DE74 2TU
Tel: 01332 393481

TELEPHONE

Andy Willmott
New Site BT
PPS.4
Parkside
Coventry
CV1 2PR
Tel: 0800 7316882

MAINS DRAINAGE

Dylan Smith
Severn Trent Water Ltd
Leicester Water Centre
Gorse Hill
Leicester
LE7 7GU
Tel: 0116 234 3789

WATER

Severn Trent Water Ltd
Operational
Customer Contact Centre
Sherbourne House
St. Martins Road
Finham, Coventry CV3 6SD
Tel: 0800 783 4000

THE ENVIRONMENT AGENCY

Olton Court
10 Warwick Road
Solihull
B92 7HX
Tel: 0870 8506506

CONTACTS

Prospective purchasers can discuss their proposals for the development of the site with the following Council Officers / Consultants:

SALE OF LAND

Jo Mascarenhas / Andy Jack
Portfolio Property Management
City Development Directorate
Civic Centre 4
Much Park Street
Coventry CV1 2PY
Tel: 024 7683 2745 (JM)
Tel: 024 7683 2706 (AJ)
E-mail:
jo.mascarenhas@coventry.gov.uk

INFRASTRUCTURE/SERVICES

Manoj Mistry
Jacobs Babbie
Wheatcroft House
Wheatcroft Business Park
Landmere Lane, Edwalton
Nottingham,
NG 12 4DG
Tel: 0115 9214253
E-mail:
manoj.mistry@babtie.com

ROADS

Ralph Ward
City Development Directorate
Civic Centre 4
Much Park
Coventry
CV1 2PY
Tel: 024 7683 2106
E-mail:
ralph.ward@coventry.gov.uk

PLANNING AND DESIGN (Urban Design)

Kevin Wilkins
Development Projects. CDD
Civic Centre 4
Much Park Street
Coventry
Tel: 024 7683 1262
E-mail:
kevin.wilkins@coventry.gov.uk

TENDER PROCEDURE

Offers to purchase the site must be submitted on the form of tender enclosed in the special envelope provided for the purpose and marked

"Tender for Westwood Heath Residential Land" to

City Development Directorate
Tower Block
Much Park Street
Coventry
CV1 2PY

F.A.O Administrative Officer CC4/12.03

The closing date for tendered offers is
12.00-Noon Friday 19 November 2004.

NOTE:

Portfolio Property Management would like to draw attention to their move from Mandela House, Bayley Lane scheduled for the beginning of November.

Tenders must be returned to the address given above. Tenders delivered to Mandela House will not be accepted.

The tender sum must be expressed as a specific sum of money exclusive of VAT having a value that is self evident and not expressed by way of its relationship to any other tender or tenders which may be received from any other party. The S106 contribution payable by the purchaser is to be in **addition** to the sum tendered for the land.

To enable the vendors to form a clear understanding of the quality of the proposals, every tender should be accompanied by three sets of the following information:

- A sketch layout to show housing plots (to 1:500 scale).
- Sample elevation drawings.
- A schedule of proposed dwelling types.
- The proposed selling prices of each dwelling based on prices current at the tender closing date.
- Any other information in support of the quality of the design.

Tenders which do not comply with the specified tender procedure will be rejected.

The quality of the design submitted will be assessed in conjunction with the level of the tender submitted. The vendors do not bind themselves to accept the highest or any tender submitted.

APPENDIX 1
(Location Plan)

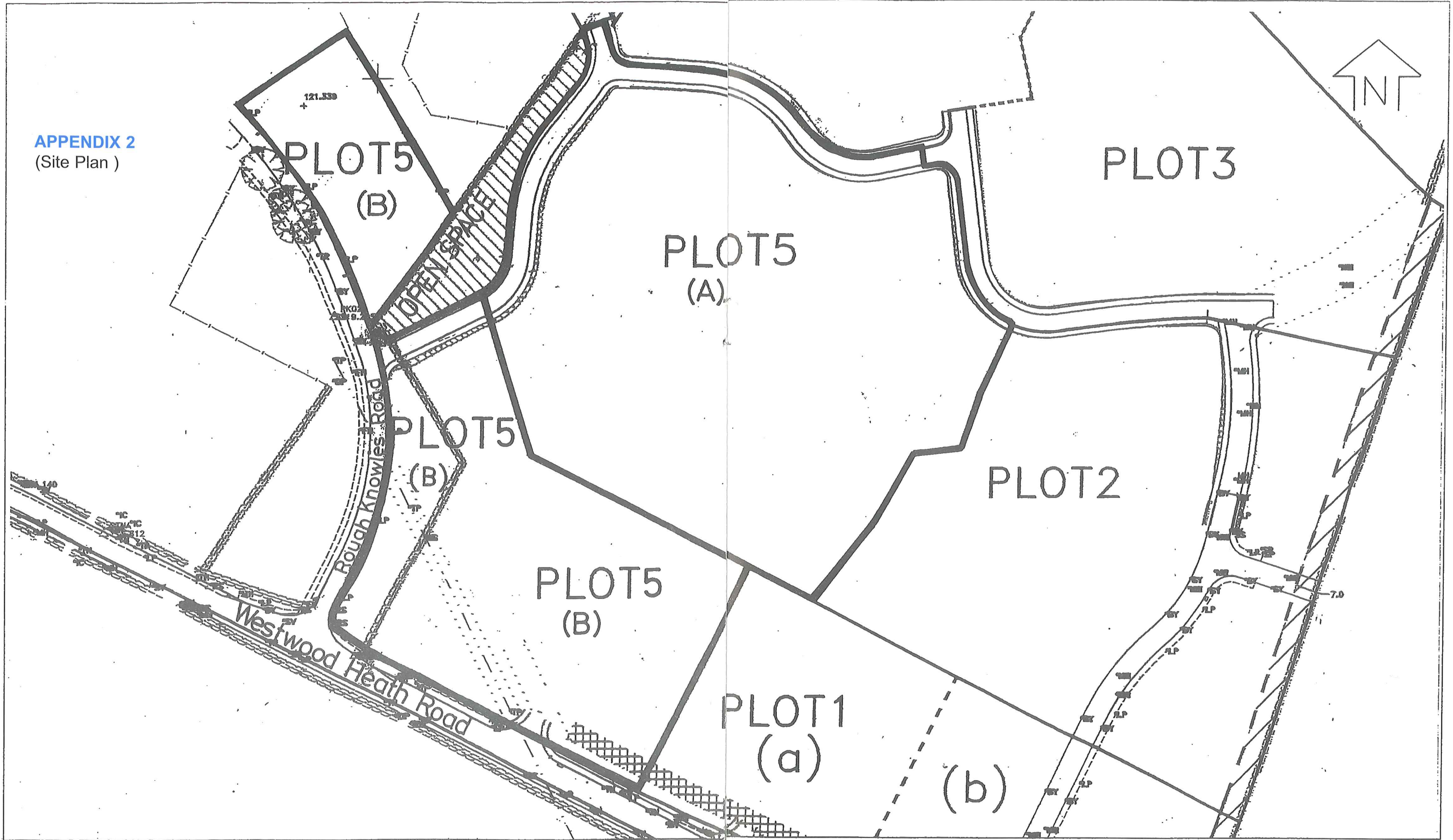


CITY DEVELOPMENT DIRECTORATE
LAND & PROPERTY DIVISION
4111 FLOOR TOWER BLOCK
MUGGERIDGE STREET
COVENTRY CV1 2PY
John McSullivan - Director of City Development
Assistant Director (Projects) - Martin Bullock

Title: WESTWOOD HEATH RESIDENTIAL DEVELOPMENT. LOCATION PLAN

Scale = NTS
Drawn by LPL
O.S. Boundary from the 1987 Ordnance Survey
Date 16/08/2002

APPENDIX 2
(Site Plan)



CITY DEVELOPMENT DIRECTORATE
PROPERTY ASSET TEAM
4TH FLOOR, CIVIC CENTRE 4
MUCH PARK STREET
COVENTRY CV1 2PY
024 7683 2799



**Westwood Heath Housing
Site Plan**

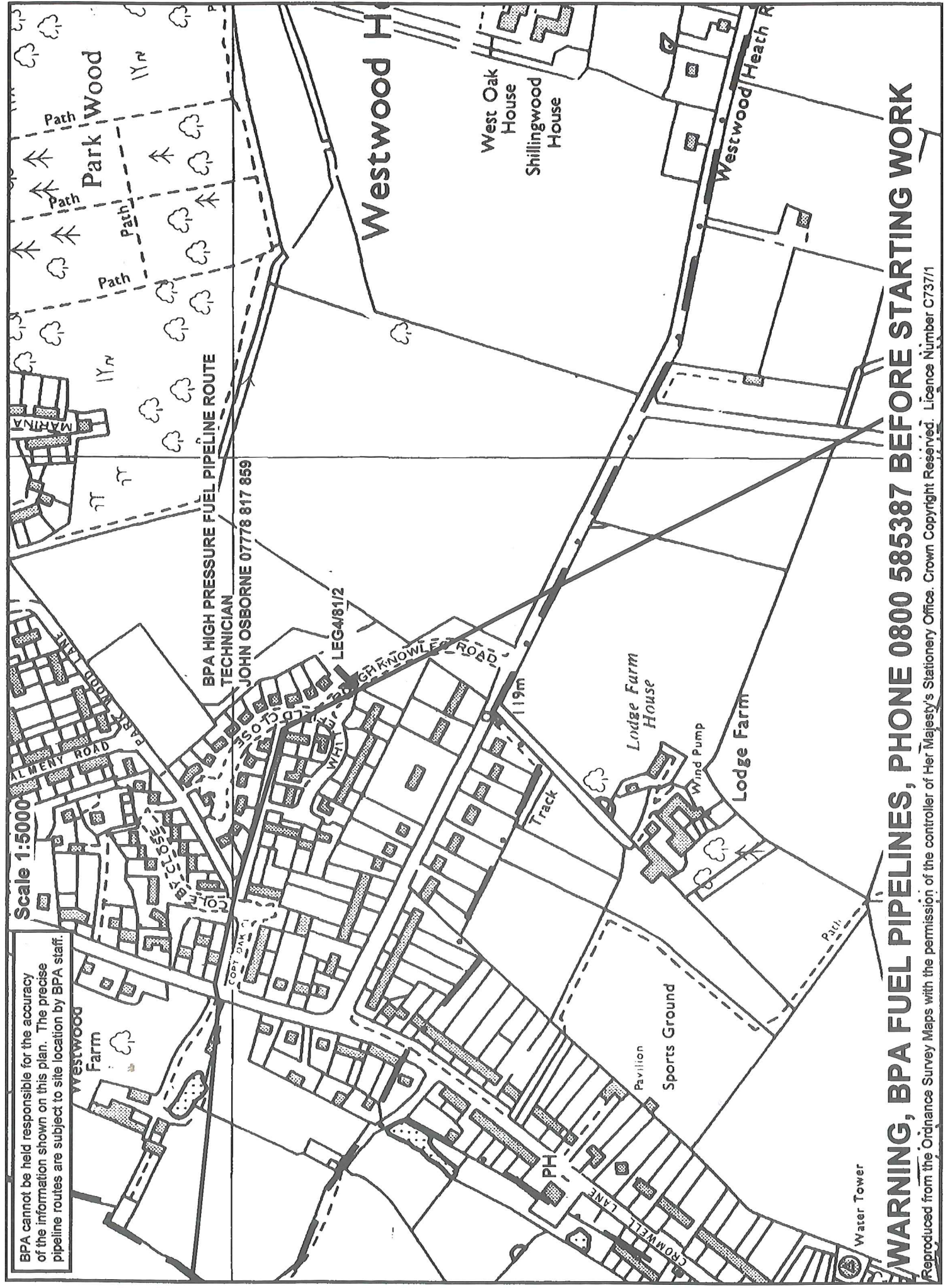
Scale 1: NTS
O.S. Ref. No: 2876 NW

Drawn by LPL
LPR - 61 - 2004

For Identification Purposes Only

Date 09/08/2004

Land & Property



APPENDIX 4

UPDATE, CLARIFICATION AND ADDITIONAL INFORMATION SPECIFIC TO PLOT 5 TO SUPPLEMENT THE SUPPLEMENTARY PLANNING GUIDANCE DEVELOPMENT BRIEF*.

(*The whole document is reproduced in full after this extract)

- 1 A maximum density of 18 units per hectare is specified for Area A (2.11 hectares). For the avoidance of doubt the maximum capacity of this Area is 38 units. A maximum density of 13 units per hectare is specified for Area B (1.46 hectares), the capacity of this area is 19 units. Development to the maximum capacity will be expected.
- 2 With regard to para 2.6 potential purchasers should contact BPA direct for digital data on the exact pipeline route and for Guidance Notes for safe working in close proximity to pipeline systems prior to tender submission. Further information should also be sought from BPA with regard to the easement referred to in paragraph 2.6. The original wording of 2.6 was based on an understood technical requirement that the easement must stay open. In the absence of such a requirement there is no justification on planning grounds for maintaining it as an open strip with an adopted footpath.
- 3 The hatched area on the Site Plan in Appendix 2 is to be laid out and maintained as public open space by the City Council. The developer will be responsible for building a footway on the west side of Road no 1, which will meet the requirement in 2.7 for a footway alongside the central hedgerow, and also along the east side of Roughknowles Road. Trees at the Roughknowles Road frontage are to be retained as far as possible. There is no requirement to retain the modern hedgerow within Area B although its use as a plot boundary where possible would be desirable.
- 4 Paras 3.13 and 3.16 (Westwood Heath Road frontage treatment) of the SPG have particular relevance to this Plot.
- 5 Dwellings with limited 2nd floor accommodation wholly within the roofspace except for small dormers will be allowed as coming within the terms of the SPG.
- 6 On the particular issue of residential car parking standards the City Council is currently consulting on new standards, which follow the advice of PPG13, and these are expected to be issued in autumn 2004. They include a maximum provision of 2 spaces within the curtilage per new dwelling. The eventual developer will be required to justify any provision in excess of this against the objectives of the standards and PPG13 for a marginally accessible location.

Supplementary Planning Guidance

FINAL DEVELOPMENT BRIEF FOR WESTWOOD HEATH HOUSING LAND

1.0 INTRODUCTION

- 1.1 This development brief relates to 18 hectares (45 acres) of land between Westwood Heath Road and Parkwood Lane, of which approximately 12 hectares (30 acres) is proposed for housing development and the remainder as public open space (see Plan 1).

2.0 THE SITE

- 2.1 The majority of the land is arable farmland of very low ecological value. A substantial central hedgerow and the hedgerow and trees along the Parkwood Lane boundary are to be retained. The low hawthorn hedgerow to Westwood Heath Road will be lost to road widening and sightlines but is to be replaced by new hedge and tree planting of appropriate species.
- 2.2 There is an existing mown grass recreation ground of 1 hectare at Parkwood Lane. Land around Roughknowles Road intended for development has been maintained as grassland with some amenity tree planting.
- 2.3 There is also a well established tree belt to the rear of properties in Roughknowles Road and Whitefield Close which is to be retained. This is to be incorporated within new or existing private gardens with the trees protected by a Preservation Order.
- 2.4 To the north is the ancient woodland and Site of Importance for Nature Conservation of Park Wood, to which the public have access. To protect this valuable resource a buffer strip has been defined and included within the Green Belt. This is to be laid out as informal open space with an emphasis on ecological interest by means of a long term strategy to develop a wild flower meadow.
- 2.5 The existing recreation ground at Parkwood Lane is a 1 hectare rectangle of mown grass bounded by low hawthorn hedges with 2 large Ash trees on the Parkwood Lane boundary. This is to be retained, enhanced and extended to connect with the Parkwood buffer strip. The extension area may prove a potential area for children's play equipment which will be financed by a levy on all new housing. The eventual form and location of this facility will however be subject to a further process of public consultation, including residents of new properties, when the development is substantially complete.
- 2.6 A major oil pipeline crosses the extreme south west corner of the site by Roughknowles Road. This is to be retained in an open easement strip of 6/7 metres in width, which should incorporate an adopted footpath. (Since this document was approved BPA have indicated that all potential purchasers should contact them direct for current requirements with regard to easements).
- 2.7 A public footpath runs alongside the eastern boundary hedgerow. This is to be maintained within an adequate reservation and the layout and design of adjoining housing must take into account the requirements of natural surveillance. A new footpath link is to be provided alongside the central hedgerow.

- 2.8 A full specification for the laying out of areas to become public open space will be included with final marketing documents. The housing developers will be responsible for the provision, laying out and future maintenance costs for the open space areas and all facilities agreed thereon. (Since this document was approved by Committee it has subsequently been agreed that this will now be the responsibility of Coventry City Council).

3.0 HOUSING DEVELOPMENT LAND

- 3.1 The open space areas outlined above define a housing development area as shown on Plan 1.

- 3.1.1 **Density:** This area is reserved for high quality 'executive' housing of similar quality to established developments at Roughknowles Road and Westwood Heath Road. In the immediate vicinity of Roughknowles Road and Westwood Heath Road (area B defined on Plan 1) a maximum density of 13 units per hectare (5 units per acre) is prescribed. For the remainder of this area (A) a maximum of 18 units per hectare (7 per acre) is prescribed.

- 3.1.2 **Access:** Westwood Heath Road is to be widened to 7.3 metres plus a 2.0 metre footway from Ten Shilling Drive up to no 428 Westwood Heath Road. Two primary access points are specified as indicated on Plan 2, from Roughknowles Road and Ten Shilling Drive. These primary access points are to be linked by a low speed access collector road following a circuitous route to open up as much of the site as possible. The City Council will be pursuing the possibility of funding advance infrastructure works in order to allow maximum flexibility of development phasing. This would also have the benefit of bringing drainage connections closer to the western boundary of parcel A/B which would possibly provide a closer connection point for existing unsewered houses in Westwood Heath Road.

Two small culs de sac off Westwood Heath Road as shown on Plan 1 will be allowed for strictly limited development within the terms of para 3.1.1. No other direct vehicular access will be allowed on to Westwood Heath Road.

Additional footways to Ten Shilling Drive and Roughknowles Road are to be constructed.

An emergency access link to Parkwood Lane will be required if cul de sac length in that part of the development site exceeds 180 metres.

Maximum advantage should be taken of the flexibility allowed in 'Highway Design Guidelines for New Development - February 2002', in terms of dimensions, specifications and materials to minimise the impact of adopted highways on the development.

- 3.1.3 **Design:** A high standard of co-ordinated architectural and layout design is required in keeping with the quality of developments that have already taken place in the vicinity.

Emphasis should be on creating attractive informal groups of dwellings, each with a distinctive design character and distinguished from adjoining groups by existing or new planting. The design objective is variety between groups, not excessive variety within groups. The maximum height of development shall be 2 storeys.

To achieve an overall consistency, within which there can be a variety of detailed design expression, each group of new dwellings shall therefore use a limited and co-ordinated range of materials, predominately a high quality 'stock' facing brick for elevations and tiled roofs of a minimum 35 degree pitch and in a darker tone than the brickwork.

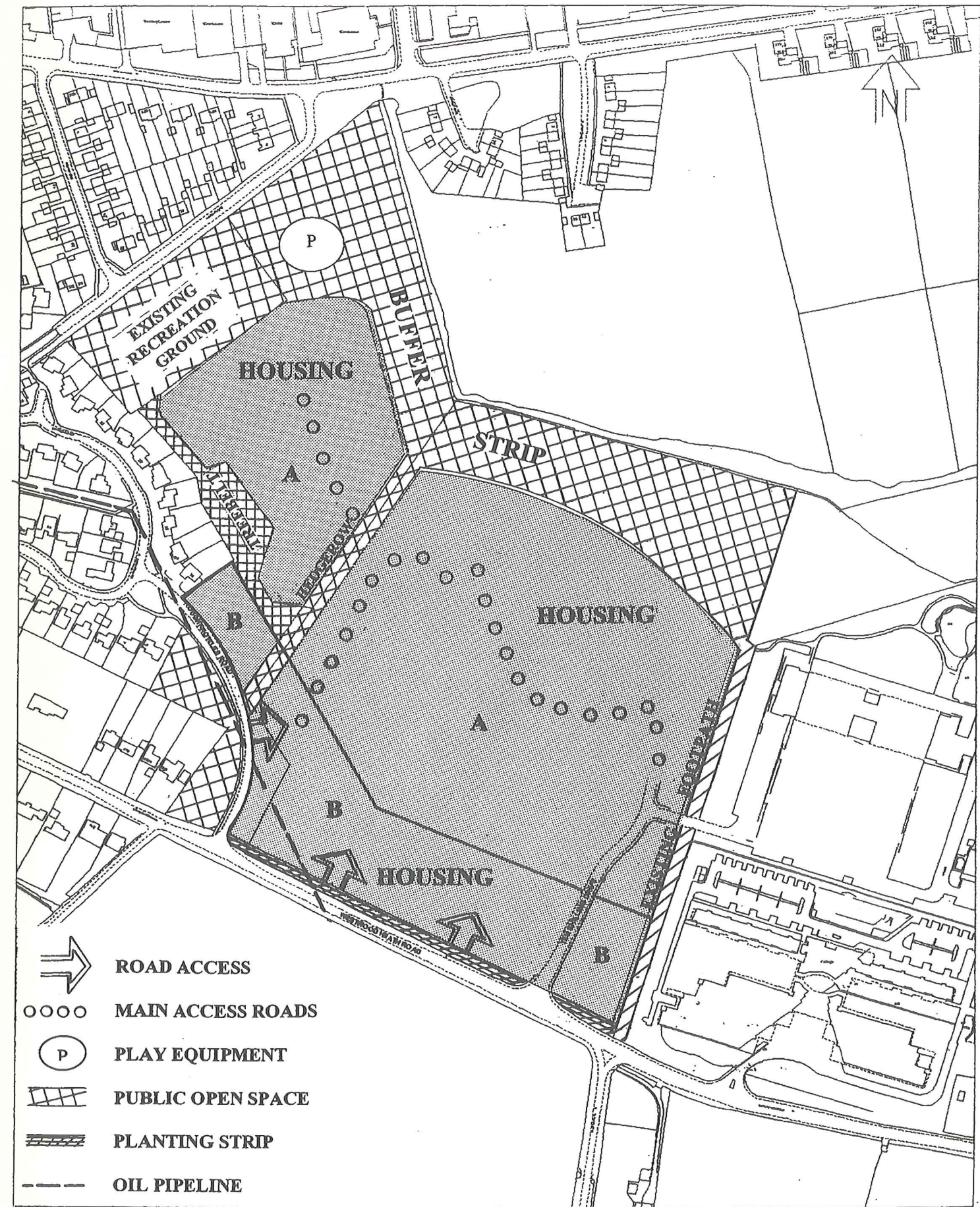
No dwelling shall back on to the boundary with new public open space areas. No dwelling will be allowed within 15 metres of the new back of footway line on Westwood Heath Road (see also 3.1.6). This will also allow for an easement for new sewers along the Westwood Heath Road frontage.

3.1.4 **Elderly Persons Provision;** a 0.4 hectare(1.0 acre) site is to be reserved for the provision of special needs housing for elderly persons.

3.1.5 **General planning design requirements** are set out in 'Design Guidance for New Residential Development', City of Coventry (1991). On the particular issue of childrens play provision, a charge of £500 per dwelling will be levied, to be secured by a Section 106 agreement under the 1990 Town & Country Planning Act. This will provide a fund which will be applied to the provision of facilities in the vicinity of the development when it is substantially complete as set out in 2.5.

3.1.6 **Landscape:** It is expected that a sensitive landscape scheme will make a major contribution towards the creation of the semi-rural, non estate character sought for this development. Each plot shall contain an average of at least two new trees in the front garden area and three in the rear. These should to be of native species, eg. Birch, Ash, Oak, Hornbeam, Beech, Rowan, Gean, Lime, Maple, Alder or Scots Pine. Along the front highway boundary of all plots a hedge of native species (Thorn, Holly, Beech, Hornbeam, Field Maple, Privet etc) is to be planted and maintained to an agreed height.

A new native hedgerow will be planted behind sightlines along the widened Westwood Heath Road frontage. Behind this a 6 metre wide tree planting strip is required. This will be included within private gardens.



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LAND & PROPERTY DIVISION
4TH FLOOR TOWER BLOCK
MUCH PARK STREET
COVENTRY CV1 2PY
024 7683 2799



WESTWOOD HEATH RESIDENTIAL DEVELOPMENT
Plot 5
For Identification Purposes Only

Scale 1: NTS. Drawn by LPL Date
O.S. Ref. No: 2876 NW LPR- xx 15/09/2004

John McGuigan - Director of City Development
Assistant Director (Projects) - Martin Bullock

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Information is available in

16pt



Braille



Please telephone (024) 7683 2748

Telephone: 024 7683 2748

Facsimile: 024 7683 2780

e-mail: portfolio.management@coventry.gov.uk



Coventry City Council

City Development Directorate
Portfolio Property Management
Civic Centre 4
Much Park Street
Coventry CV1 2PY